

C. HISTORIC RESIDENTIAL DESIGN CRITERIA

C. 1 Applicability

The Historic Residential Design Criteria apply to the Historic Residential Primary Area, the Natoma-Riley-Bidwell Primary Area, and the River Way Subarea of the Historic Commercial Primary Area except that in cases where the original style of a structure is commercial, and that style is being maintained, Section B may provide design guidance. If there is a conflict between these criteria and the adopted Lake Natoma Shores Design Guidelines, the Lake Natoma Shores Design Guidelines shall take precedence. Criteria applicable to commercial projects are also applicable to multifamily developments of three or more units.

C. 2 Important Design Elements

The existing design traditions should not only be retained and enhanced on existing buildings but will be encouraged in the design of new construction:

a. *Scale*

Buildings should be in scale with neighboring residential buildings in terms of height and mass.

b. *Setback*

Buildings should be constructed with front setback consistent with their neighbors, and they should face the primary street.

c. *Materials*

Exterior materials and finishes should be of residential grade, durable and of high quality and should include details appropriate for design period of the Subarea and building style.

d. *Contextual design*

The placement, size, and construction of windows and doors should be consistent with the residential character of the Subarea and building style.

e. *Historic preservation*

Historical or "period" building elements should be retained or replaced with materials compatible with the design context of the building style.

f. Lighting

New exterior lighting should utilize appropriate high quality fixtures compatible with the design context of the building style.

g. Services

Utilities and services should be located and screened to be inconspicuous.

C. 3 Windows

a. Intent

To ensure that windows which are visible to the public are transparent in order to create a safer and more interactive environment.

To ensure that new and replacement windows are compatible with the building style.

b. Glazing

Clear glazing only - no dark tinted or reflective glass.

c. Window coverings

Windows at the street level of commercial uses or offices should not be completely covered. Cafe curtains or partial wood shutters are two of the many alternative solutions to the need to provide a degree of privacy without creating a blank facade.

d. Appropriate window types

Wood frame double hung or casement windows are preferred. Vinyl clad windows may be used in less significant structures. The use of metal sash shall be confined to new construction or the remodeling of the least significant structures. In this case high quality aluminum, single-hung, double-hung, or casement windows are encouraged.

Aluminum frame sliding windows as replacement windows in the Persifer-Dean Subarea may be appropriate if there is historical evidence that sliding windows were used originally.

Windows shall be residential in proportion, scale, and design. Traditional style residential windows are preferred.

e. *Inappropriate window types*

On significant hand crafted, older buildings (pre WWII), aluminum frame sliding windows as replacement windows are not appropriate. A dark anodized finish or colored enamel is acceptable for aluminum frame windows. In general, any obvious metallic finish, such as clear anodized aluminum, is not allowed.

Irregular, polygonal, circular and trapezoidal window shapes are discouraged. Radius top windows may be acceptable only if compatible with the building design (i.e., Spanish Eclectic and Italianate styles may have "arched" windows). The use of false or snap-in mullions is not appropriate.

f. *Proportions*

In general, window proportions should be vertical rather than horizontal; however, appropriate proportions and number of panes will vary depending upon the style of the individual building and the context.

g. *Restoration*

Whenever possible, original windows shall be restored. In restoration, the original number of panes in glassed areas shall be used.

C. 4 Entries

a. *Intent*

To ensure that new and replacement doors are compatible with the historic character of the neighborhood and the residential quality of the buildings.

To concentrate activity and pedestrian circulation at the main streets rather than from secondary areas such as alleys and parking areas.

To ensure that secondary doorways are carefully integrated into the overall building design.

b. *Doors*

Door style. Residentially scaled and detailed solid wood or glazed doors of many styles and types may be appropriate. Special consideration shall be given to the style of the door in relation to the style of the building.

Inappropriate door types. Flush veneer doors (except in the Persifer-Dean Subarea), heavily carved "theme" doors (i.e., "Mediterranean" style), and aluminum frame storefront entry doors are inappropriate door types.

c. *Front porches.*

To maintain the residential character of the Subarea front porches are encouraged in all new construction. At a minimum, each residentially designed building should have either a porch or balcony exterior space oriented toward a street. In addition to maintaining the residential character the front porch provides a clear designation of the building entrance. The porch delineates a defensible space between the public and private realms in which one can participate in the public street space, yet feel comfortable in his own territory. The front porch and balconies also serve as "architectural eyes" on the street, providing security through surveillance.

Height. The floor height of porches should be 1-2 feet minimum above grade.

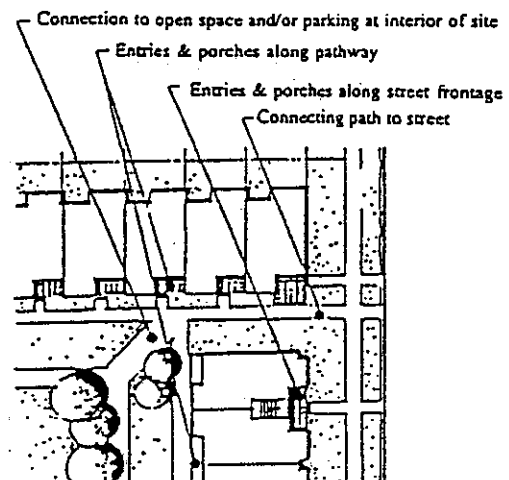
Railing. If the porch is less than 30" above the adjacent grade, the building code does not require a railing. Therefore the railing height can be less than the usual 36". A railing of approximately 24" in height is common in the porch construction of homes in the Historic District. This lower height is desirable because it provides a "more friendly" and better connection to the street.

d. *Main entry*

Main entry access from parking lots or garages is discouraged.

Orientation to street. The main entry to a project should be clearly identified and must relate directly to the main street frontage.

Pedestrian Connections



Pedestrian connection to street. Both commercial and residential units should have walkways from the sidewalk to the front entries. Primary access to multifamily buildings should be via internalized pathways.

Secondary entries. Rear entries and accessory dwelling unit entries should be subordinate to the main entry. Emergency exit doors and side exit doors must be designed with high quality materials. The placement of these elements on the building facade must be given careful consideration in order to complement the overall design.

e. ***Garage Doors***

Scale. Garage doors should be broken up into smaller components. Two single garage doors are preferred over a double door.

Materials. Wooden garage doors resembling those found during the design period of the Primary Area or Subarea are preferred. If a roll up or metal door is used, it should be plain not paneled and windows are discouraged.

C. 5 **Building Height and Volume**

a. ***Intent***

To ensure that new development relates to the scale of the existing neighborhood.

b. ***Maximum height***

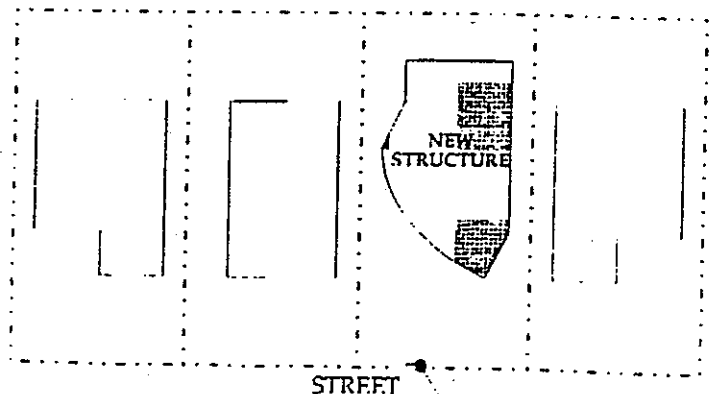
Refer to Folsom Municipal Code Chapter 17.52 and the Historic District Design and Development Guidelines, for maximum allowable height.

c. ***Volume and orientation***

Volume. In general, polygonal and circular buildings are not appropriate.

Orientation. The front and side walls of new construction should be parallel to the property lines.

Inappropriate Building Form



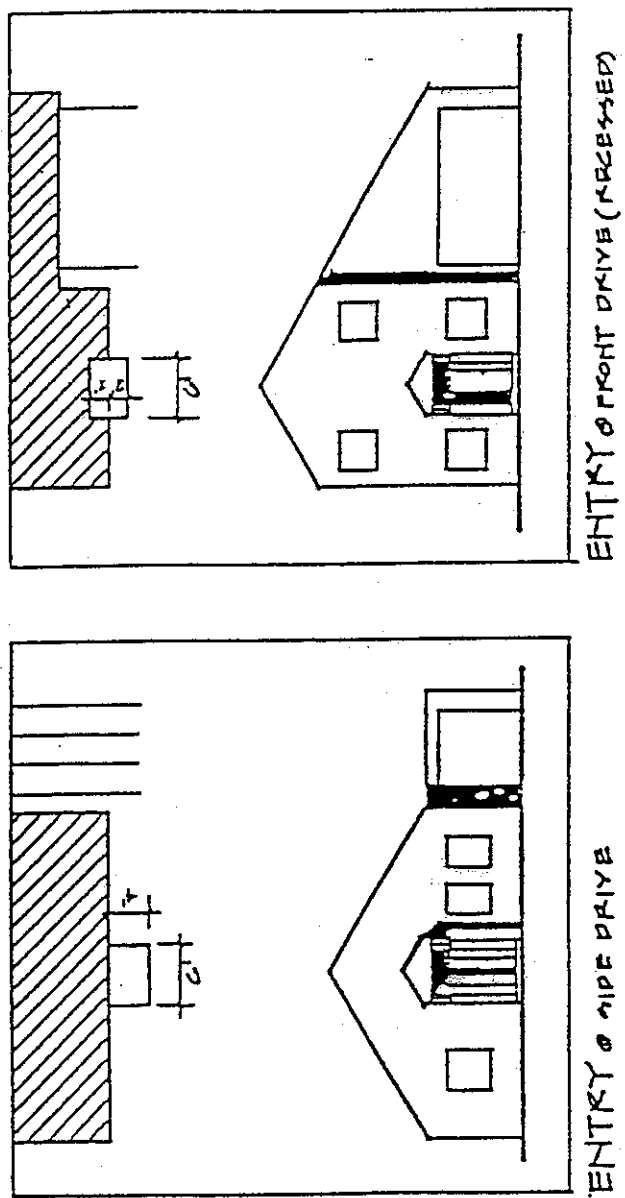


FIGURE 11

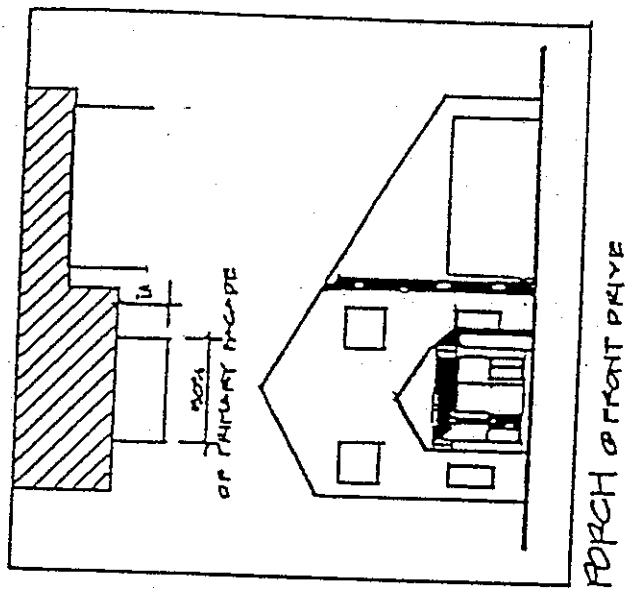
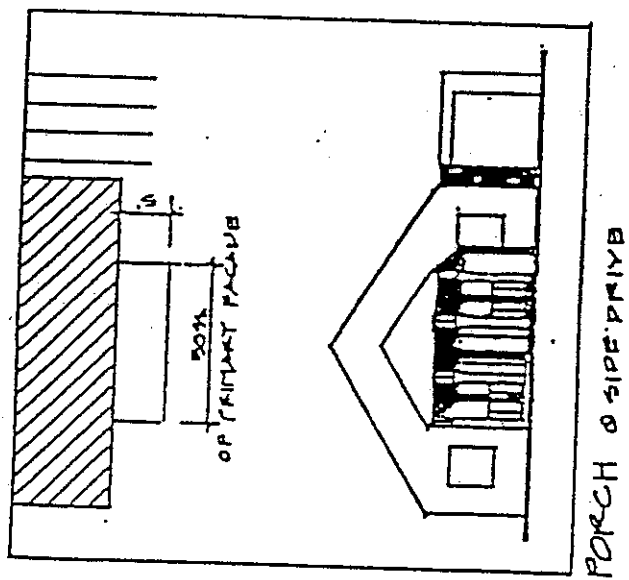
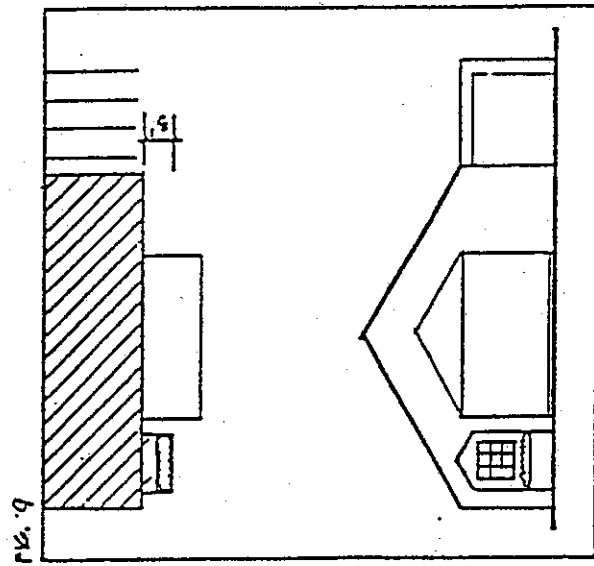
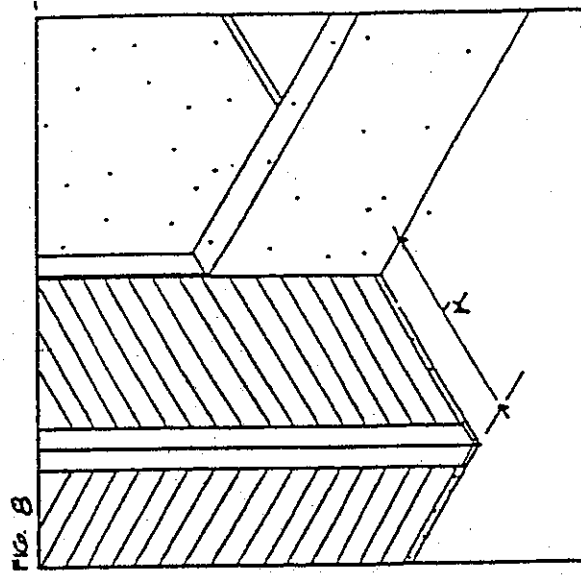


FIGURE 10



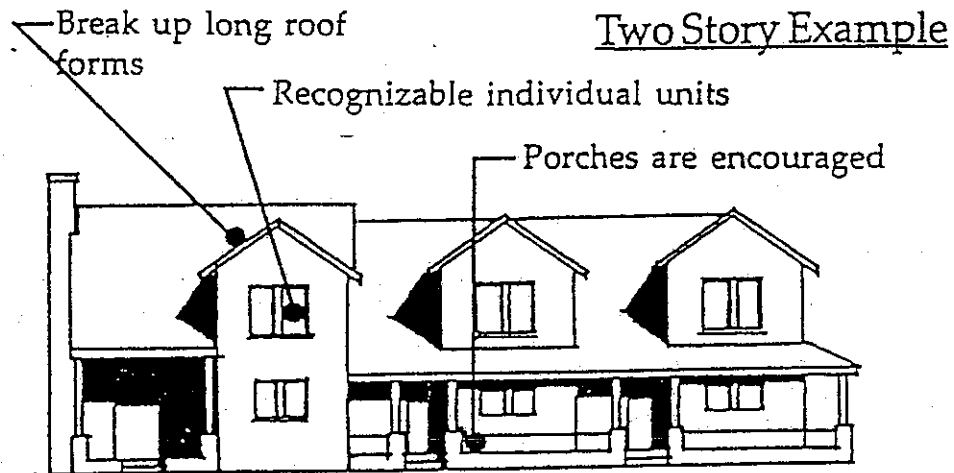
PROJECTIONS & DAYS



MATERIAL CHANGES

d. *Scale*

Residential context. For new projects and additions to existing buildings, the overall massing of the building forms must relate to the small scale and intimate nature of the existing residential context.

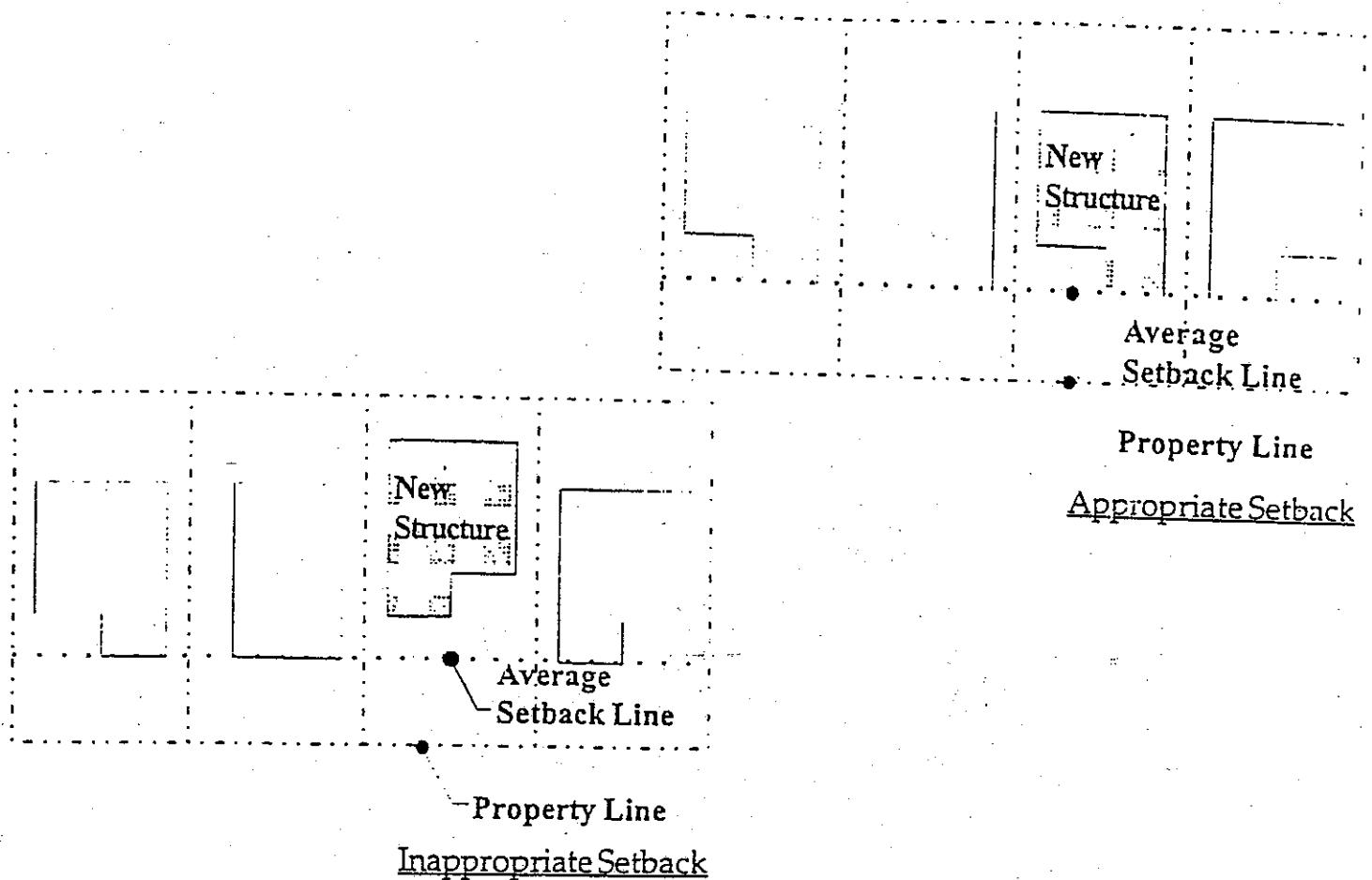


Residential massing. Building masses shall be broken up into smaller elements that conform to the rhythm of solids and voids of this traditional residential streetscape which is made up of individual buildings set apart from each other by landscaped side yards.

e. *Setbacks*

The intent is to ensure that building setbacks for new construction respond to the predominant pattern of building setbacks on the block. Refer to Folsom Municipal Code Chapter 17.52 and the Historic District Design and Development Guidelines.

Parking lot setbacks and orientation. Buildings shall not be separated from the street frontages by parking lots. No parking areas shall be allowed to face onto the "primary" streets. "Primary" streets are those streets to which the majority of the lots are oriented. These streets are all the streets parallel to Sutter Street and Natoma Street in the Historic District. (See graphic on following page).



C. 6 Materials and Finishes

See Building Materials Palette attached as Attachment 2.

a. *Materials*

Predominant, high quality materials. Materials shall be consistent with those predominant to the Primary Area or Subarea and building style. Materials should be traditional residential materials and of high quality.

Inappropriate materials. "Fake" materials such as synthetic stone, imitation brick, vinyl or aluminum "wood-look" siding are inappropriate. Unfinished or "generic" finish materials such as plywood siding, aluminum siding, aluminum awnings and exposed concrete block are difficult to successfully incorporate into a quality design and are discouraged. Commercial and industrial materials such as aluminum curtain wall or storefront construction, metal roofing, tilt-up and cast-in-place concrete construction or exposed structural steel constructions are, in general, inappropriate for the residential context and are discouraged.

Accessory Structures. Accessory structures should be constructed of the same materials as the main structure.

b. *Finishes*

Hierarchy of Facades. Finishes shall be of consistent quality and detailing on all elevations. "Front facade only" design is discouraged.

The rear of buildings. In all cases, an alley elevation visible from the street requires particular consideration. In commercial projects the backs of buildings will be frequented by patrons arriving from parking located in lots at the rear of buildings. These rear elevations shall be designed to integrate into the overall building design. In commercial projects pedestrian access shall be developed to connect rear yard parking areas to the front entry and the sidewalk at the street. Secondary rear entries are allowed for commercial projects. Landscaping, awnings, lighting, signs and paving are elements that should be used to develop an attractive rear facade. Service equipment and trash areas shall be screened from view.

Texture. Building texture should create visual interest and enhance the streetscape.

Multiple buildings. Building complexes consisting of more than one main building should incorporate a variety of color themes that are compatible and yet allow for visual interest.

Blank walls. Large, uninterrupted and unarticulated monochromatic expanses of wall should be avoided. They can be broken up with the use of color, texture and architectural elements such as windows and trim.

Large expanses of blank wall or fencing should be screened with upright shrubs and trellised vines. Trellises are to be constructed of sturdy, durable materials. Although the common residential redwood lath trellis is allowed, more substantially sized members are encouraged for durability and longevity.

C.7 Roofs

a. *Existing roofs*

Original roof lines. Original roof line shapes shall be maintained. Alterations and additions shall be consistent with the existing building design.

b. *New roof design*

Scale, design, and materials. The design of roofs for new buildings shall be consistent with the small scale and residential materials that are prevalent in the neighborhood. Parapets are inappropriate and not allowed. False "mansard" roofs are not allowed.

Articulation. For larger scale new projects the overall massing shall reflect the small scale of the residential context. Large, unarticulated expanses of roof are not allowed. Large roof areas shall be designed to have roof forms that are broken up into smaller, traditional design elements.

c. *Roofing materials*

Appropriate materials. Roofs shall be of traditional materials including fireproof wood shingles, corrugated metal, composition fiberglass shingles, clay tiles, or others as determined by historic evidence. Where roofs are visible, composition fiberglass roofing materials shall be dark or neutral tones.

Inappropriate materials. Colored standing seam metal roofs, glazed ceramic tile or imitation roofing materials including concrete shingles and imitation concrete mission tile are currently inappropriate and will not be allowed. However, in the future new technology may, as determined by the Historic District Commission, develop acceptable alternative materials.

C.8 Signs

a. *Intent*

To ensure that permitted signs are unobtrusive and modest.

For specific regulations regarding signage, refer to Folsom Municipal Code Chapters 17.52 and 17.59 and the Historic District Design and Development Guidelines.

b. *Site signs*

If required, directional signs and other required signs such as "one way," etc., should be as unobtrusive as possible. The graphics should be similar to the building signage graphics. Colors should be subdued.

c. *Illumination*

Illuminated signs are to be illuminated from a concealed source. Internally illuminated or neon signs are not allowed.

C.9 Exterior Lighting

a. *Intent*

For commercial uses, to ensure functional lighting that provides adequate intensities to ensure pedestrian safety at side yard walkways, rear parking areas, up stairs, etc.

To provide subtle, indirect general illumination.

To ensure that fixture design is compatible with and complements the design and period of the building style.

To provide security and amenity for evening users.

b. *Commercial lighting*

Pedestrian lighting. Walkways and entry lighting shall be placed to illuminate the pedestrian walkway. These fixtures shall be 18" tall landscape lights, 42" tall bollard lights, recessed down lights or pendant fixtures set in the soffit or other wall mounted shaded fixtures.

Windows. Shop and business windows shall be subtly lit at night. Fixed overhead spot lights recessed incandescent ceiling fixtures are recommended.

Entrances. Building entrances should be accentuated by brighter lighting. The building street number should be illuminated by the entry lighting.

Decoration. Decorative lighting such as spotlights, neon, or string "twinkle" lights are not allowed on a permanent basis.

Parking areas. Parking lots may be illuminated with low bollard type fixtures which may be supplemented with building mounted fixtures of a similar design.

Directional signs. Directories and directional signs for parking and building access may be subtly illuminated.

Glare. All exterior lighting shall be shielded or indirect fixtures, downlights in soffits or overhangs, or shaded fixtures that provide downward directed lighting.

Exposed bulb. Exposed bulb fixtures such as "carriage lamps" may be used but shall have a 75-watt maximum lamp. External flood lighting must be arranged so that the light sources are screened from view.

Design. Fixture designs appropriate to the design period of the Primary Area or Subarea or the prevailing style during which the buildings were constructed are allowed. Simple contemporary designs are also allowed at the discretion of the Historic District Commission. Fixtures shall be residential in scale.

Pole fixtures. Pole mounted fixtures are discouraged. If used, poles shall be a maximum of nine feet (9'-0") tall. "Carriage lamp" fixtures with exposed bulbs cause glare and are discouraged.

c. Residential lighting

Entrances. Building entrances should be accentuated by brighter lighting. The building street number should be illuminated by the entry lighting.

Decoration. Decorative lighting such as spotlights, neon, or string "twinkle" lights are not allowed on a permanent basis.

Exposed bulbs. Exposed bulb fixtures such as "carriage lamps" may be used but shall have a 75-watt maximum lamp.

Design. Fixture designs appropriate to the years or the prevailing style during which the buildings were constructed are allowed. Simple contemporary designs are also allowed at the discretion of the Historic District Commission. Fixtures shall be residential in scale.

Glare. Glare or excessive light spillage onto adjacent sites shall be avoided by proper selection and placement of fixtures.

C.10 Site Components

a. Landscaping

Intent.

To ensure that landscape design in this area is traditional in order to retain the residential and historical character of the neighborhood.

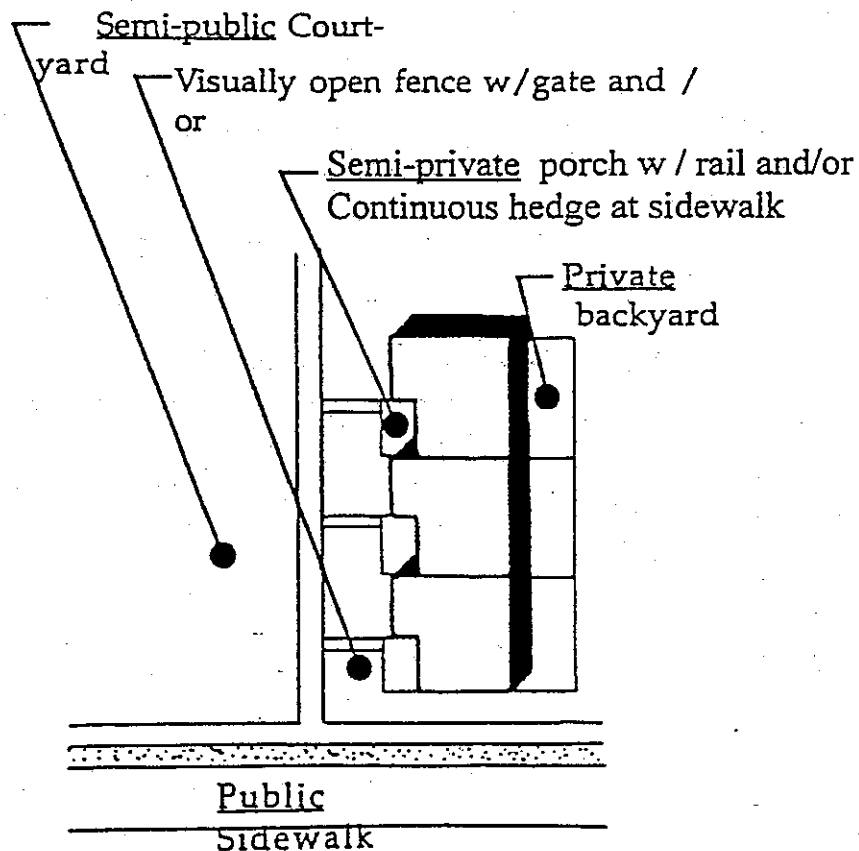
To ensure that landscape improvements for residential and specialized commercial or professional uses utilize alleys as pedestrian linkages as well as for deliveries and access to parking.

To ensure that new planting is incorporated in a manner that is consistent with the period designated for the Subarea.

To ensure parking areas utilize plant materials that are hardy, vigorous and durable.

b. Public improvements

Street trees and treelawns. Preserve all existing street trees. If street improvements are installed, guidance should be taken from the Historic District Design and Development Guidelines. New planting is to be consistent with period vegetation and should in no way disturb or endanger the growth of existing street trees.



Distinction Between Public, Semi-Public,
Semi-Private and Private Space

Landscaping at street frontages. The street frontages of buildings shall be set back from the street by traditional landscaped yards. Plant materials should to be selected from the lists provided in Attachment 1.

c. *Private improvements*

Outdoor spaces. Commercial driveways, courtyards and pedestrian walkways within each block shall be landscaped as extensively as possible.

Driveways. Driveway improvements and other vehicular access requirements of new development shall be sensitive to the traditional if not historic character of the neighborhood and its existing features, and shall incorporate similar treatments. In general, accent pavements and oversized drives are not allowed within this context, although some scored concrete finishes may reflect the existing character of development.

Site conditions. Plant material selections and locations shall demonstrate consideration of varying site and soil conditions, solar orientations and relationships to buildings and viewsheds. Incorporation of drought-tolerant alternative planting schemes that fit in with the traditional residential landscape context are encouraged as an alternative to the extensive use of lawn for front yards and parkways. Although lawn is the traditional groundcover, it requires a substantial amount of water for irrigation. If used, lawn shall be a drought-tolerant variety, and it should be used sparingly.

Site furnishing and features. Site furnishings and pedestrian amenities such as benches and trash receptacles are encouraged, and shall reflect the style and character of the neighborhood. Designs shall be simple and traditional, and shall be of a scale and quality appropriate to the project. Historic reproductions may also be acceptable if the architectural context warrants such a treatment.

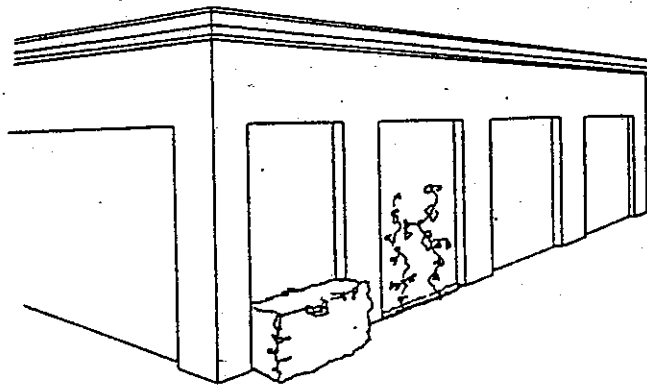
Walls and fences. Materials of walls and fences shall reflect the style and character of the building and its site. Where large expanses of blank building wall, retaining wall or fencing are unavoidably exposed, they should be screened with upright shrubs or trellised vines. Trellises are to be constructed of substantial, durable materials, but may incorporate redwood lath lattice. Inappropriate materials such as chainlink, split rail, and other non-historic fencing materials are not permitted.

d. *Parking areas*

Parking lots. Commercial parking lots shall be designed with planter area for shade trees and shrubs. Parking areas with over six stalls should contain at least two varieties of trees, with at least one type being a large, high-branching canopy tree to provide shade in accordance with City requirements. The other type of tree shall be accent or delineator trees. These trees should guide circulation patterns and highlight entries. Accent trees should complement the selected shade trees and should provide visual interest in form and/or flower. Shrubs should be clustered in masses or large groupings and should be located as not to interfere with vehicular or pedestrian sight lines.

e. *Screening guidelines*

Blank walls. Where large expanses of blank building wall, retaining wall or fencing are unavoidably exposed, they shall be screened with upright shrubs and trellised vines. Trellises are to be constructed of substantial, durable materials. Although the common residential redwood lath trellis is allowed, more substantially sized members are encouraged for durability and longevity.



Screen Blank Walls with Landscape

Commercial parking lots. Parking lots shall be screened from view through the use of an architectural or landscape treatment integral to the overall building design. At a minimum, a planter space four feet (4') in width adjacent to the sidewalk with a three-foot (3') high solid screen wall with a brick masonry or cement plaster finish is acceptable.

Site equipment. Trash enclosures which stand apart from the adjacent building, loading, storage and service areas, as well as site equipment, such as transformers and irrigation equipment, shall be screened from view from adjacent properties, public streets, and building entries. Appropriate plant materials from Attachment 1 and/or approved screen structures may be used. Chainlink fencing or chainlink with redwood slats is unacceptable as a screening device.

f. Irrigation concepts

Automatic systems. Although required in commercial projects only, an automated underground irrigation system is highly encouraged for all projects. Irrigation systems shall be valved separately considering site variables such as slope, solar orientation, and soil conditions, as well as the particular water requirements of selected plant species. The irrigation system shall be designed to minimize overspray onto buildings, walks, or other paved areas. Sprinklers in high pedestrian or vehicular traffic areas shall be "pop-up", drip, bubbler, or underground models only, and shall be invisible when not in use.

Water conservation. Water conserving irrigation systems, such as drip systems, are required.

Backflow prevention devices. Backflow prevention devices shall be installed in conformance with all applicable codes and ordinances and shall be located so as not to pose any danger to public safety. Backflow preventers shall be screened so as not to be visible from the adjacent street or walkways through the use of plant materials or decorative screens which reflect the style and character of the architecture. Plant materials and screens must not block views for motorists or pedestrians.

g. Paving and finishes

Intent

To enhance the Historic District for pedestrian use.

Recommended locations. Special paving treatments should be used to accentuate pedestrian ways between buildings and within blocks, courtyards, parking areas and rear building entrances.

Appropriate materials. Materials shall reflect the historical style and character of the adjacent streetscape, as they serve to link these spaces and contribute to the continuity of the Historic District's fabric. The preferred paving material is concrete paving with decorative scoring. The concrete should be seeded with black silica and then receive a light to medium sandblasted surface finish. Other methods to mimic aged material may be used upon the approval of the Public Works Department. When replacing portions of paving during remodeling or repairs, the new paving shall match the adjacent paving materials and detailing.