

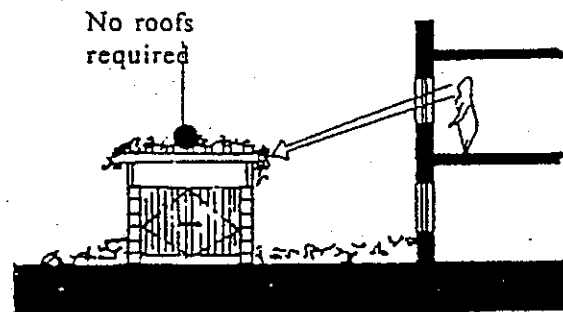
## **D. Style**

### *Intent*

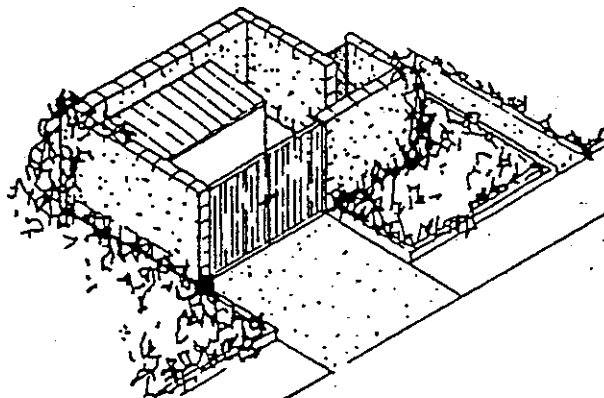
*To ensure that the backs of buildings are attractive and inviting. To ensure that the design and construction as well as placement of trash enclosures is compatible with the design of the building.*

*Enclosures connected to the building.* In many cases, the preferred trash enclosure arrangement will be a structure connected to the building. The enclosure shall be integrated with the building through the use of compatible materials and detailing; for example, if the building is shingle, then the enclosure shall be shingle to match. In addition, landscape screening is desirable.

*Freestanding enclosures.* Enclosures may also stand apart from the building. In these cases the enclosure shall be constructed of substantial, durable materials that are compatible with the building finishes, as noted below, and shall be screened with landscaping in a planter which shall be along the entire trash enclosure wall perimeter.



Screen from above



Durability and Quality are Critical

*Appropriate materials.* Masonry is the most appropriate material for trash enclosures because of its extreme durability. The exterior shall be designed to be compatible with the building design. If the exterior of the building is primarily wood siding, the Historic District Commission may approve a wood enclosure provided the following guidelines are met.

The walls are constructed of 2x4's at 16" on center

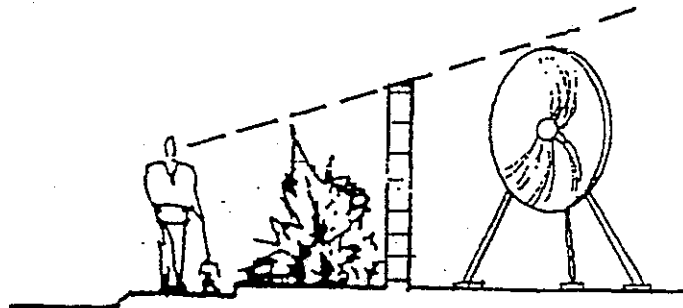
- The walls shall sit on 6" high concrete curb which shall extend into the interior of the enclosure, serving as a wheel stop to prevent the trash bin from coming in contact with the walls.
- The exterior shall be sided with the same material as the building.
- The interior shall be sheathed in 3/4" plywood and painted to provide a washable surface.

*Inappropriate materials.* Wood fencing, chain link fencing and chain link with redwood slats are not acceptable trash enclosure materials. Exposed concrete block may not be acceptable unless adequately detailed and screened.

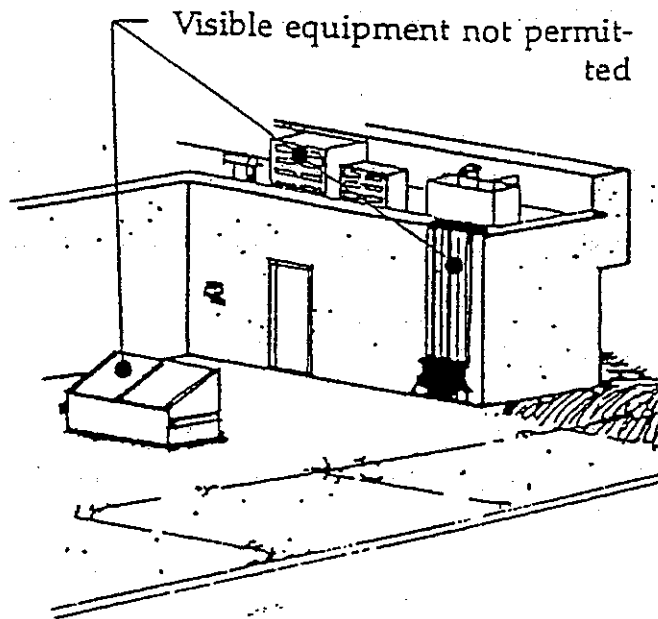
*Joint facilities.* Whenever possible, businesses and buildings shall develop joint facilities for shared use of trash enclosures.

c. *Mechanical and electrical services*

*Surface mounted equipment.* New surface mounted equipment including exposed conduit or electrical lines are not acceptable. Electrical switch gear, meters, etc., which are visible to the public must be undergrounded, screened, or housed in an enclosure that is compatible in design to the structure.



Screen Equipment



*Roof mounted equipment.* Roof mounted equipment must be thoughtfully located. Air conditioners, fans, vents, antennae, and other roof top equipment must be set back from the roof edge sufficiently to be out of the line of sight of a pedestrian on the opposite side of the street, or this equipment must be screened from view. Screening materials should be substantial, durable materials, compatible with the design and materials of the building. Wooden lattice or fence-like coverings may also be acceptable.

*Site equipment.* Site equipment such as transformers, gas and electric meters, irrigation controls, fire department connections, sprinkler risers, etc., must be screened from view at both the front and rear of buildings by landscaping and/or approved enclosures. In addition, locations should be carefully evaluated in terms of visual prominence as well as functional requirements.

## D. STYLE

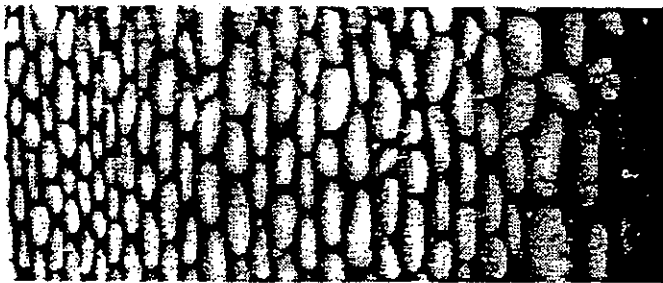
The following is the definition of architectural style from the Oxford English Dictionary: "a definite type of architecture, distinguished by special characteristics of structure and ornament."

Stylistic classifications are used to describe architecture and to relate buildings to one another. Additionally, stylistic categorization acknowledges that building is not just a craft; it is an art form that reflects the philosophy, intellectual currents, hopes and aspirations of its time.

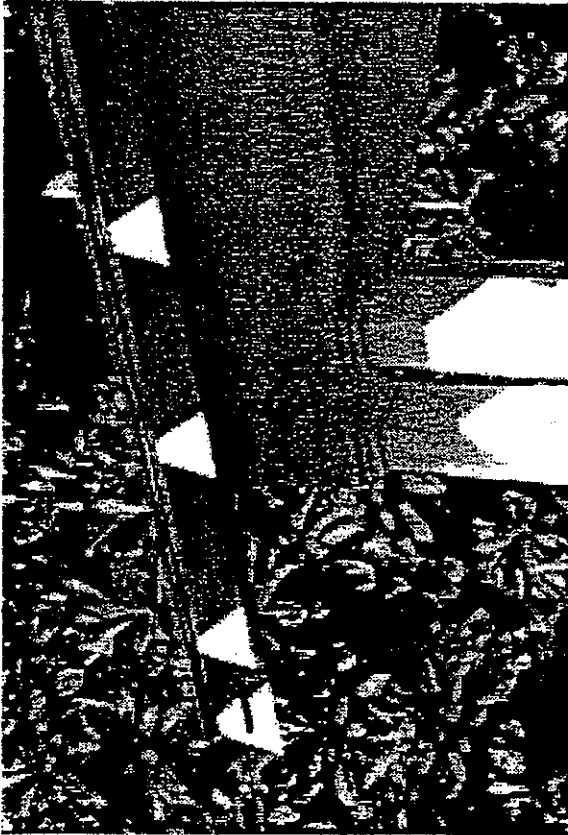
Identifying and using architectural styles is anything but an exact science. Many buildings defy stylistic labels. As with social change, architectural styles do not have sharp edges. Buildings may represent a transitional period, blending a previous style with the newer upcoming style of the period. Additionally many styles had periods of revival which were less faithful to the originals and may have combined different styles.

This document uses stylistic designations as an aid in:

- 1) identifying the building's style for the purpose of authentic renovation
- 2) identifying the building's style for the purpose of an authentic addition
- 3) describing the character of the Historic District; providing insight, not rules for new construction

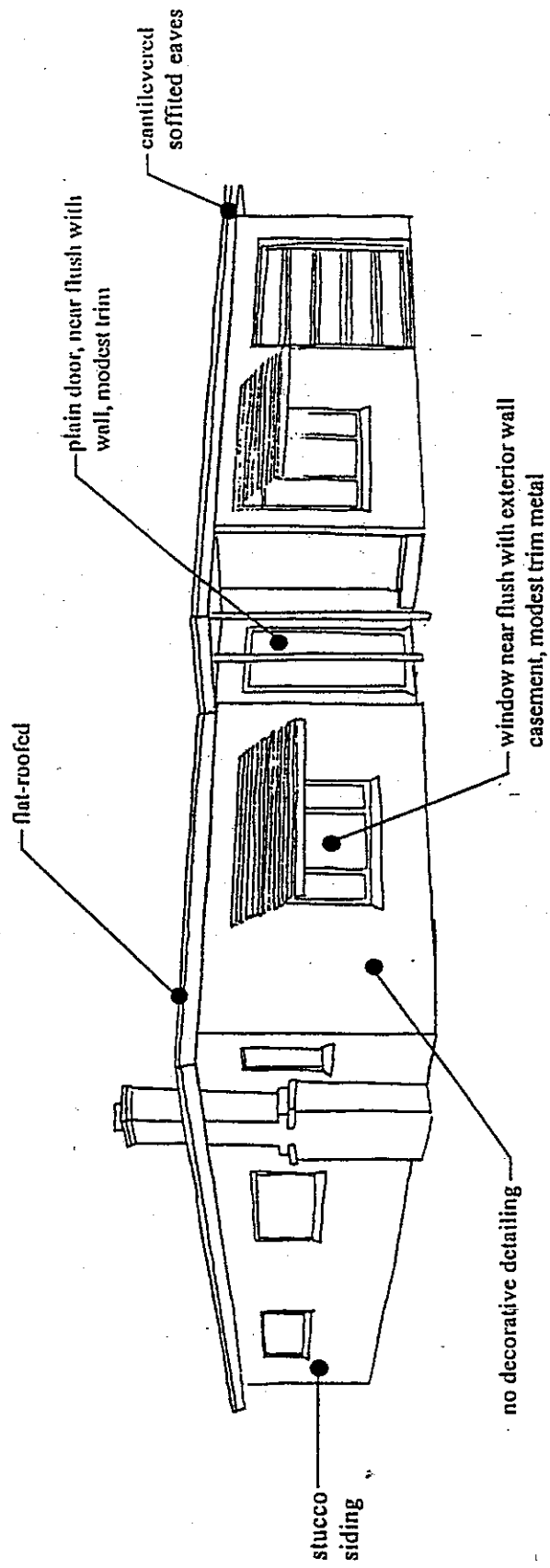


Use of local materials -  
river cobbles for  
foundation base

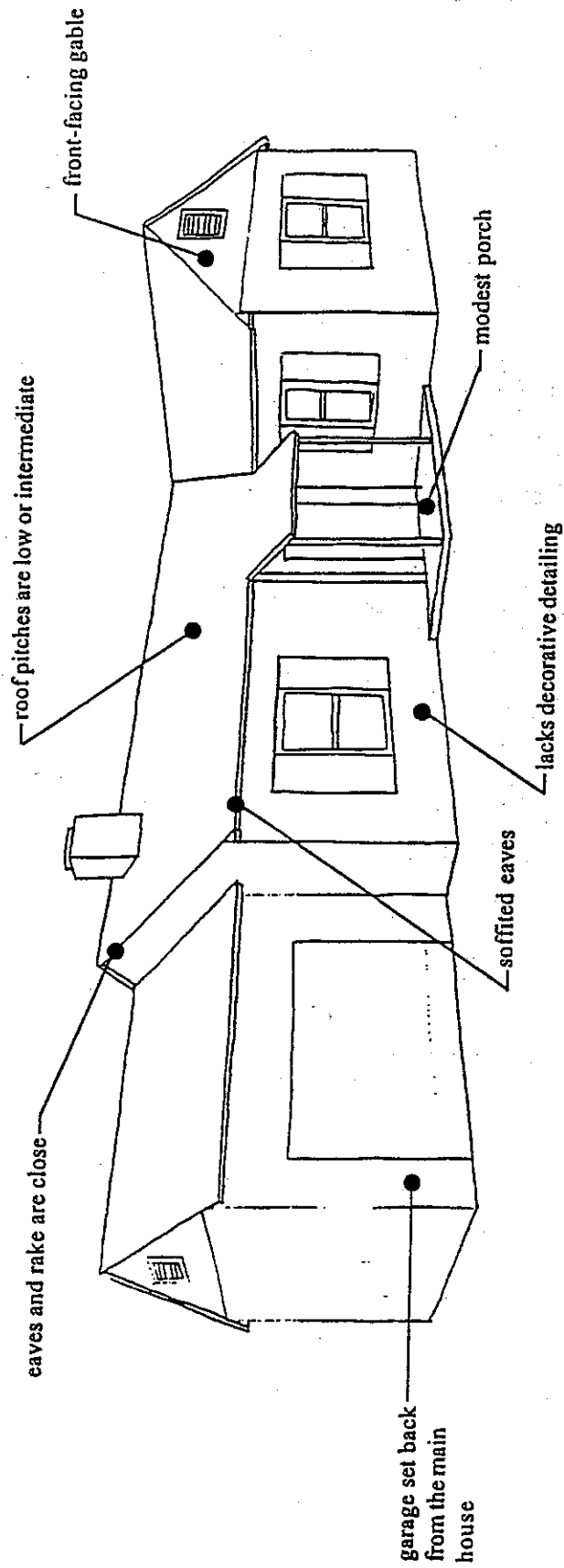


Open rafter eaves - expression of post and beam

## Craftsman Style

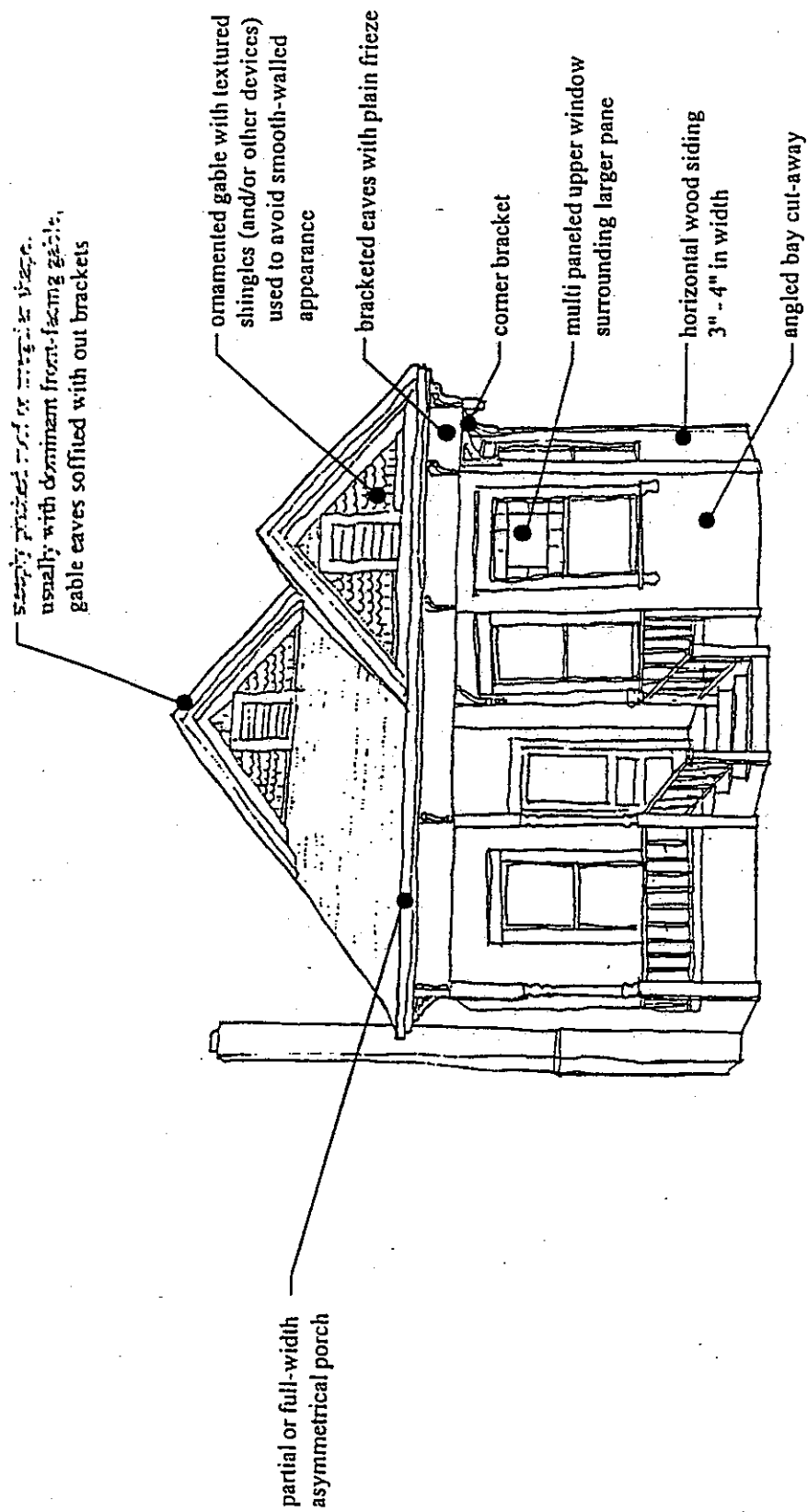


Contemporary Style

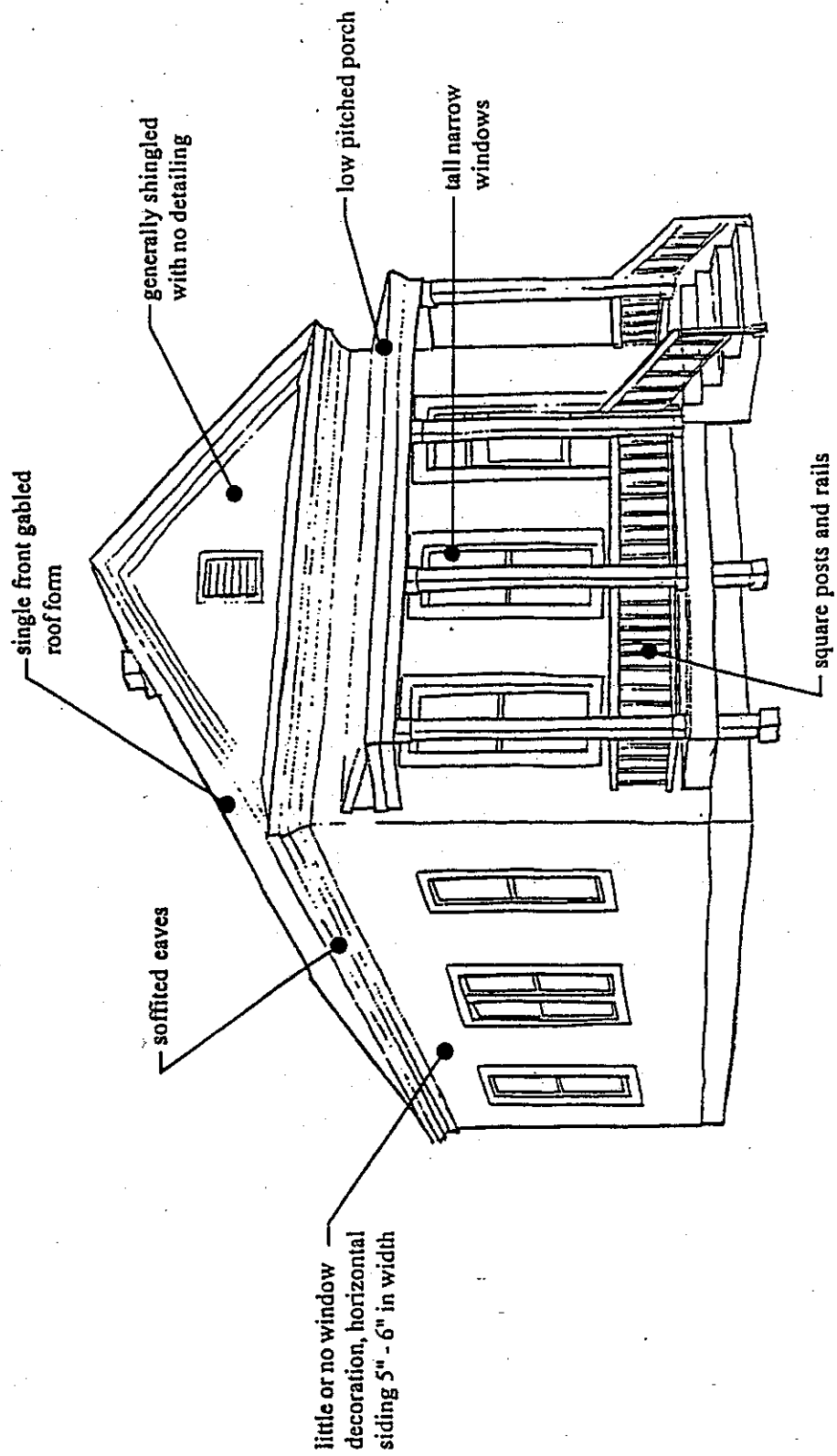


50s Ranch Style

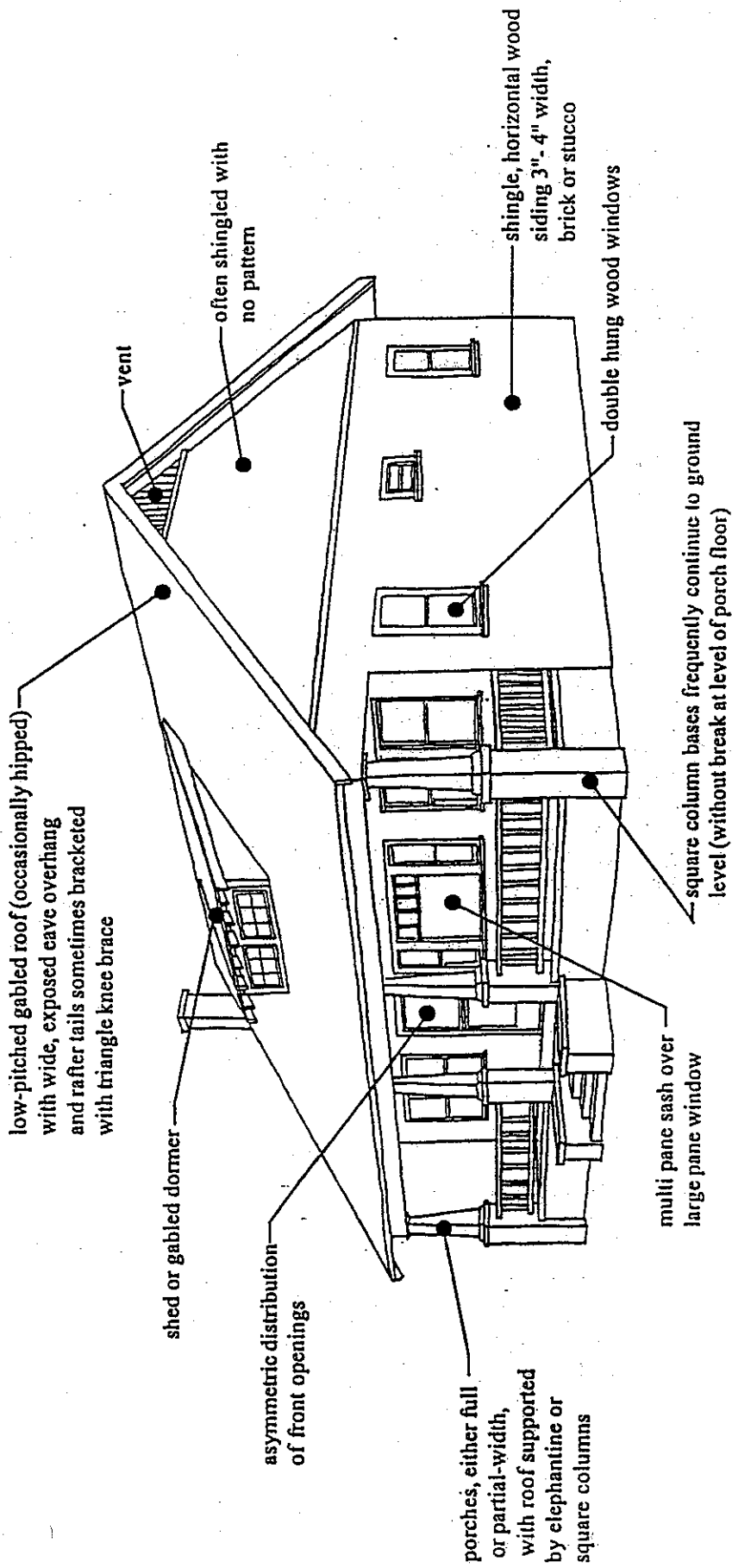




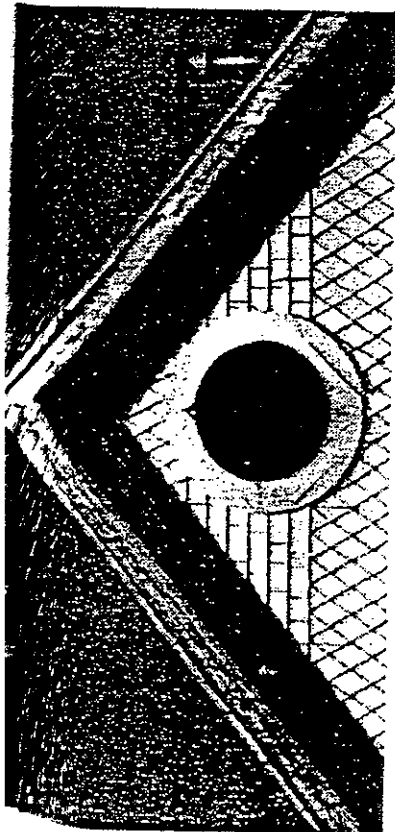
Queen Anne Style



Delta Style



Craftsman Style



Typical shingle pattern

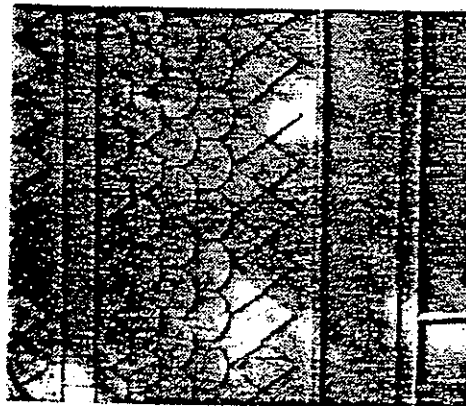


Window - tall proportions

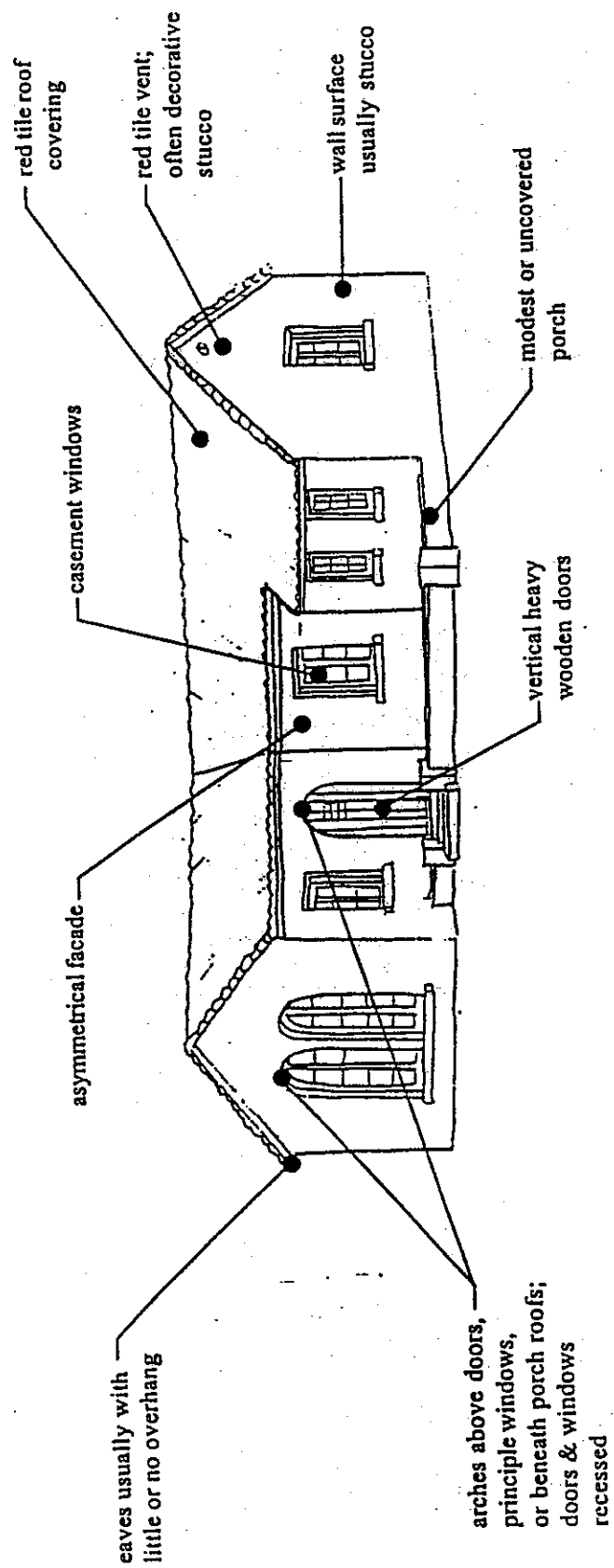


Decorative trim at  
corner window

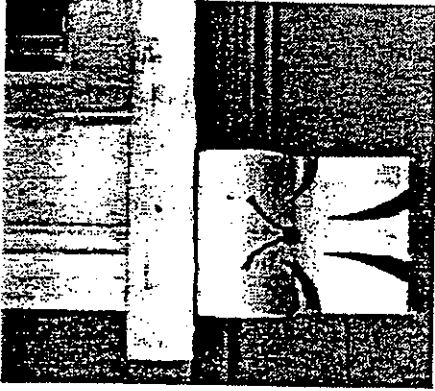
Queen Anne Style



Typical shingle pattern



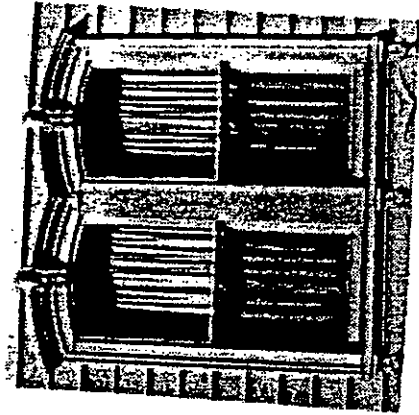
Spanish Eclectic Style



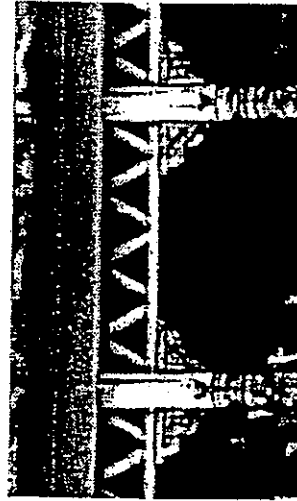
Typical trim



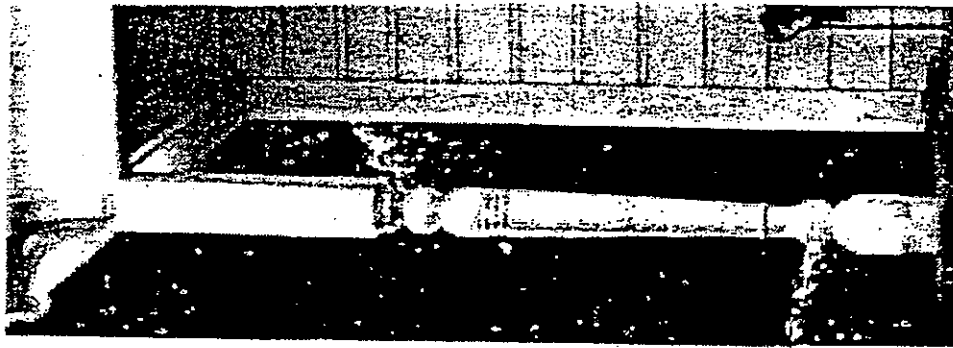
Typical window trim



Typical window

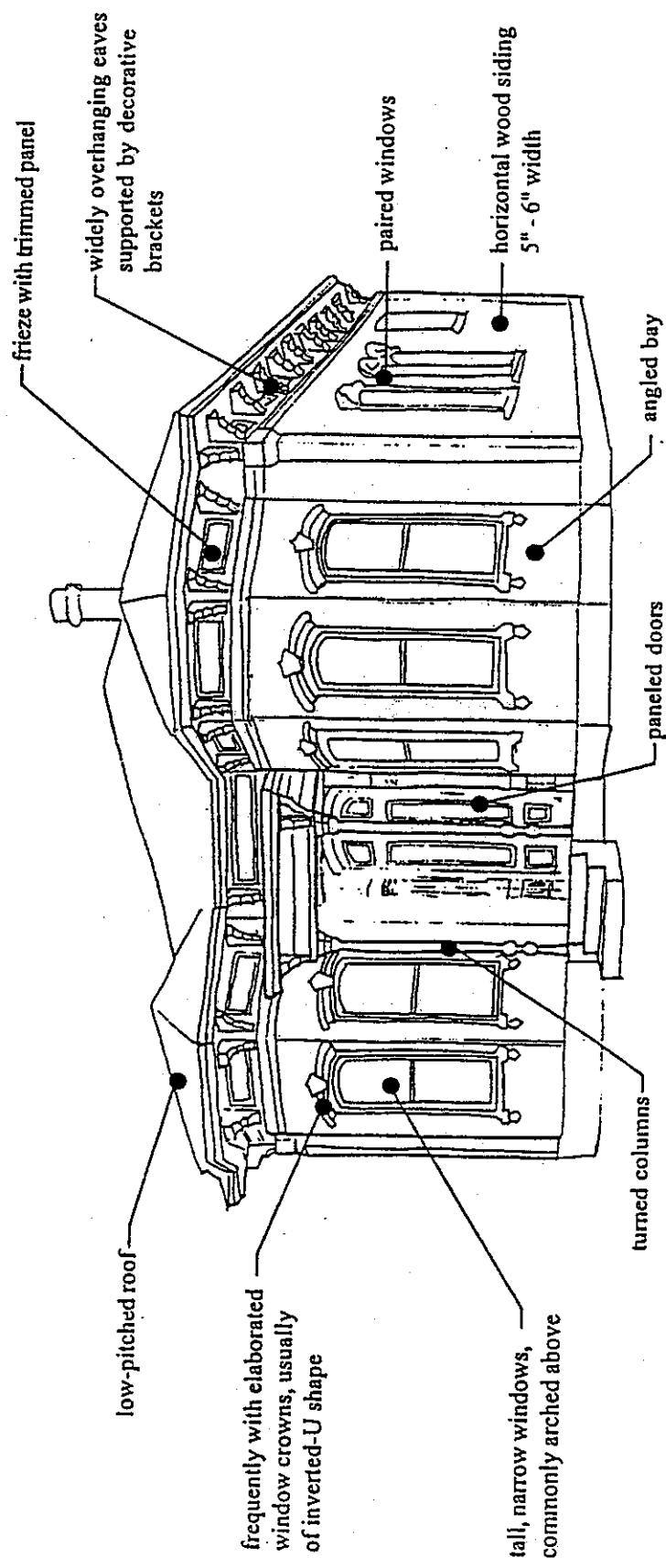


Decorative porch trim



Turned wood post at front porch

## Italianate Style



Italianate Style





## **E. Glossary**

## **E. GLOSSARY**

### **Accessory Structures**

A structure detached from a principal building located on the same lot and customarily incidental and subordinate to the principal building or use.

### **Animated**

Describes the use of building elements, areas, and colors which create variety and a sense of activity in and around a building.

### **Arcade**

A continuous passage way, accessible and open to the public, parallel to and open to a street, open space, parking area, or building, usually but not necessarily covered by a canopy or permanent roofing.

### **Articulation**

The dividing or segmenting of building elements into smaller components to create a sense of finer detailing. The variations in the exterior of the building or massing of buildings in a development. Elements of articulation may be described in terms of roughness of surface material, numbers of openings, patterns within the material or of different materials, massing, etc. Articulation can reduce the scale of larger buildings by the use of small detailed patterns.

### **Bollard**

A vertical element designed to prevent the movement of vehicles across a roadway or into a pedestrian area.

### **Bar Scale**

(1) The relationship between distances on a map and actual ground distances; (2) The proportioned relationship of the size of parts to one another. Bar scale usually is represented by a graphic scale (a visual bar) or a ratio (or representative fraction) such as 1"=1 mile. Since maps are often enlarged and reproduced photographically, the bar scale is not affected by the map enlargement or reduction.

### **Breezeway**

A roof-covered passageway open to the outdoor area.

### **Bulb-Out**

The extension of a sidewalk, planter, or outdoor activity area into a parking lot or street. Bulb-outs are finished with material similar to adjoining sidewalks or open space, and include full curbs and gutter.

### **Cantilever**

A projecting beam or part of a structure supported only at one end.

**Cloud**

A cloud around a portion of a drawing that designates a change within that area of the drawing.

**Corbel**

A bracket or block projecting from the face of a wall that generally supports a cornice beam of arch.

**Cornice**

A projecting ornamental molding along the top of a building or wall.

**Delta**

A triangular symbol adjacent to the Cloud which designates the number of the change within the documents. This delta is also referenced with a date in the lower right hand corner of the drawing.

**Design Continuity**

A unifying or connecting theme or physical feature for a particular setting or place, provided by one or more elements of the natural or created environment. Consistency in scale, quality, or character between new and existing development so as to avoid abrupt and/or severe differences.

**Design Rhythm or Pattern**

The regular or harmonious recurrence of lines, shapes, forms, elements or colors, usually within a proportional system.

**Destinations**

The locations within a development project which draw users and visitors to them, creating the gathering place for passive or active use.

**Dripline**

An imaginary ground line around the outer edge of the canopy of a tree that defines the limits of the tree canopy and, roughly, the root zone.

**Elevations**

The external faces of the building.

**Facade**

The exterior wall of a building exposed to public view, or that wall viewed by persons not within the building.

**Lintel**

The horizontal beam spanning an opening.

**Massing**

The distribution of building volumes in regard to: 1. Its location on the site. 2. The height, width, depth of building elements relative to each other.

An example of the second aspect above would be "the bell tower and assembly building of the church" are separate masses.

**Monochromatic**

The use of one color.

**Mullion or Muntin**

A member which divides one window into multiple pieces of glass.

**Opaque**

A material that does not transmit light.

**Orientation**

The direction that various sides of a building face.

**Orthographic**

The drawing of a building elevation from one direction.

**Parapet**

The extension of the main wall of a building above the roof level.

**Paving**

Common terminology for surface materials. These can be asphalt paving, integral paving, stones, brick or concrete.

**Pedestrian Scale**

A design relating to the scale of an average person.

**Perspective**

The presentation of a building elevation from a three-dimensional orientation.

**Podium**

An elevated element over which a building is constructed. The base.

**Primary Streets**

Primary streets are those streets to which the majority of the lots are oriented. These streets include all the streets parallel to Sutter Street and Natoma Street in the Historic District.

**Public Art**

which is visible to the general public. It can be freestanding or a component of the overall building or development.

**Punched Windows**

Individual window elements as opposed to a continuous horizontal band of windows. Punched windows can be either in line with the exterior surface or more appropriately recede into the surface element.

**Rehabilitation**

To restore to a good condition.

**Remodel**

To reconstruct or alter from an original condition.

**Rendering**

The detailed colored presentation of a building elevation, perspective, or plan.

**Repair**

The reconstruction, restoration or mending of any part of an existing structure for the purpose of preserving or retaining the characteristics or operation of the structure.

**Repointing**

To replace deteriorated, substandard, or missing mortar between masonry units, such as brick.

**Restoration**

To bring back to a former, original condition.

**Sash**

A movable framework in which panes of glass are set.

**Secondary Frontage**

The side of a building which does not include the main entrance or does not face the primary street frontage.

**Setback**

The distance between the building and any lot line. The minimum setbacks in the zoning ordinance define the building envelope and establish the required yards - front, rear, and side. The ordinance also indicates what may be permitted in which yards: parking, fences, accessory buildings, patios, swimming pools, and so on. The set back may include certain projections, such as decks, chimneys, and bay windows.

**Shadow Casting**

The shade cast by a structure or building on the surrounding areas during the day and over various seasons.

**Shake**

A rough split piece of wood, typically red cedar, used for covering roofs and walls.

**Shall**

Those criteria which are required to be provided as part of the building or site development.

**Shingle**

A smooth cut piece of wood, typically red cedar, used for covering roofs and walls.

**Should**

Those elements which are desired to be provided as a component of the building or site design.

**Sill**

A horizontal member at the bottom of a window or door opening.

**Stile**

The vertical member of a panel door.

**Style**

A particular, distinctive form of design.

**Transitional Sites**

A site on which a land use or structure is located that has an intermediate intensity of activity or scale located between a more intensive and a less intensive use, or a change from one use to another.

**Transom Window**

A window which spans horizontally above doors and windows.

**Treelawn**

A treelawn is that portion of the public right-of-way located between the street pavement and the sidewalk, intended for planting of street trees and other landscaping materials.

**True Divided-Lite**

A window which is divided into smaller, individual panes of glass with mullions, as opposed to a window which has decorative mullions applied to one large glass pane.

**Veneer**

An overlay of an object or wall with a more costly material, to give an appearance of higher quality.